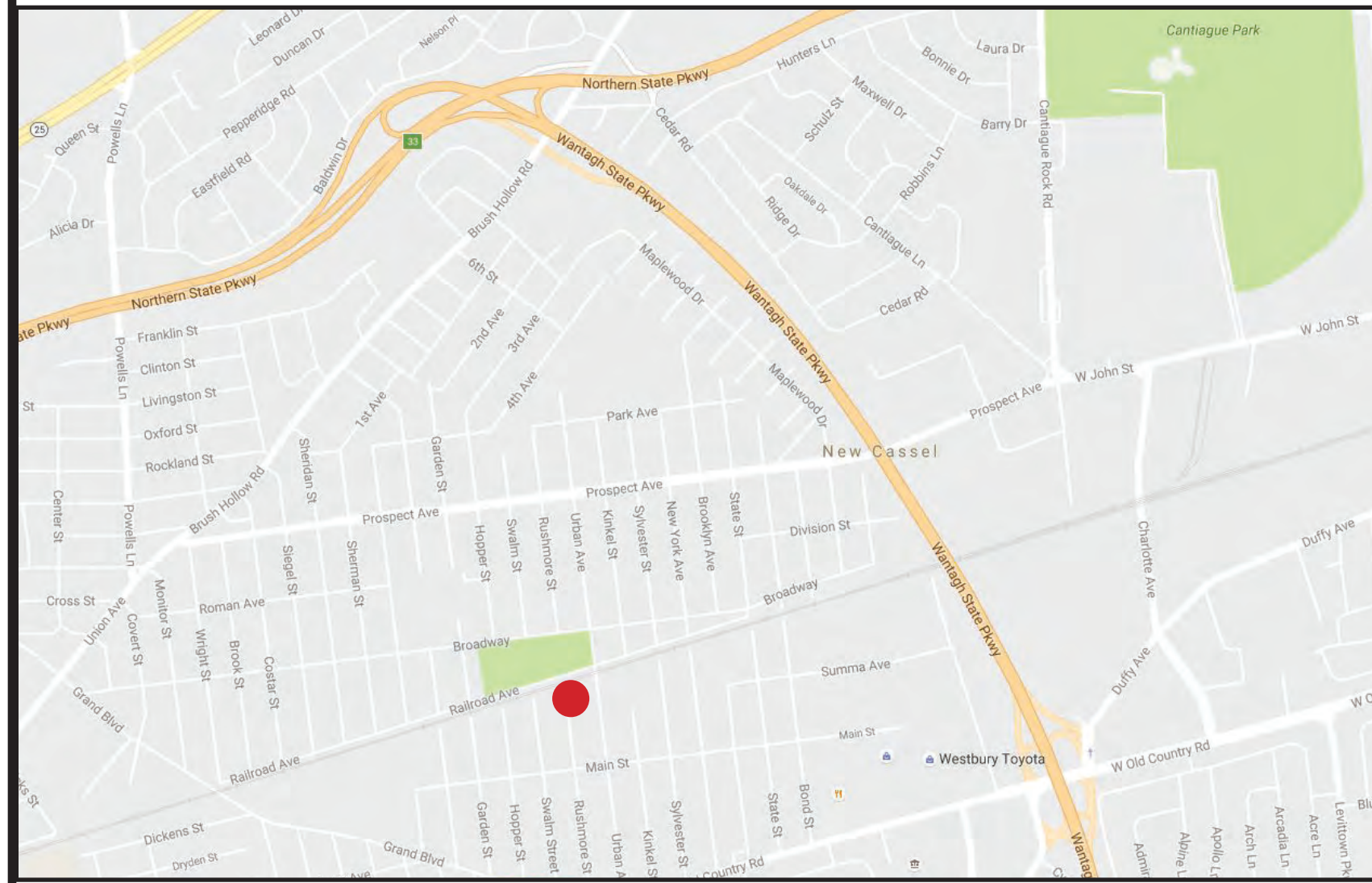


RENOVATION 205 URBAN AVENUE WESTBURY, NY 11590



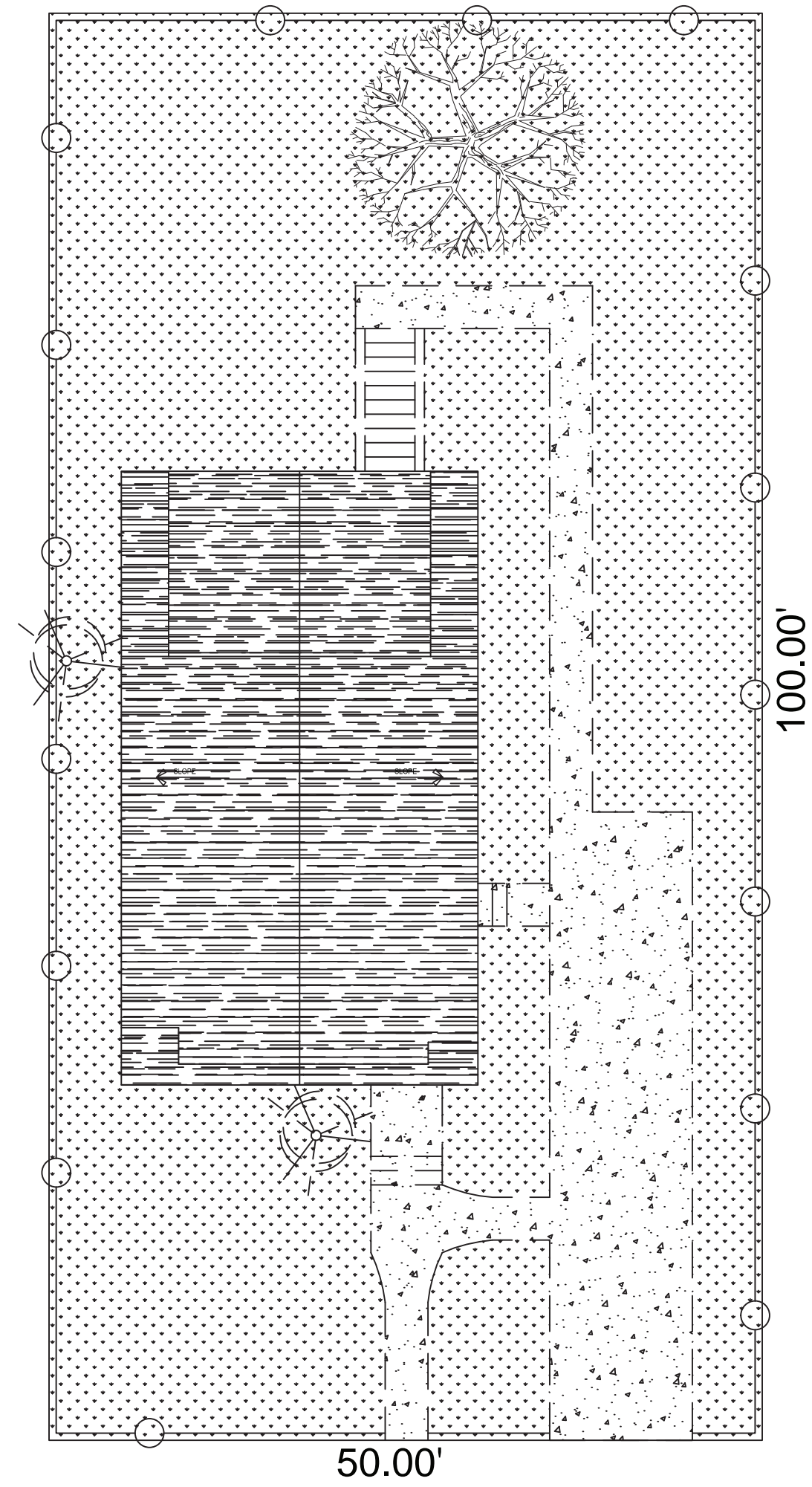
SITE:
SHAPE-UP EXISTING LANDSCAPING
DEFINE PLANTING BEDS, ADD MINIMAL PLANTING,
REPLACE DETERIORATED FENCING, CONCRETE SURFACES AND STOOPS
ADD PATIO

EXTERIOR:
REPLACE ALL SIDING & BRICK VENEER
REPLACE THERMAL AND MOISTURE ENCLOSURE
REPLACE ROOF, SOFFITS, & FASCIAS
REPLACE ALL WINDOWS & DOORS.

CELLAR:
REPLACE EXISTING HVAC & HW HEATER WITH DUCTED AIR SYSTEM & ELEC-
TRIC HOT WATER HEATER
RETURN CELLAR TO UNFINISHED CONDITION

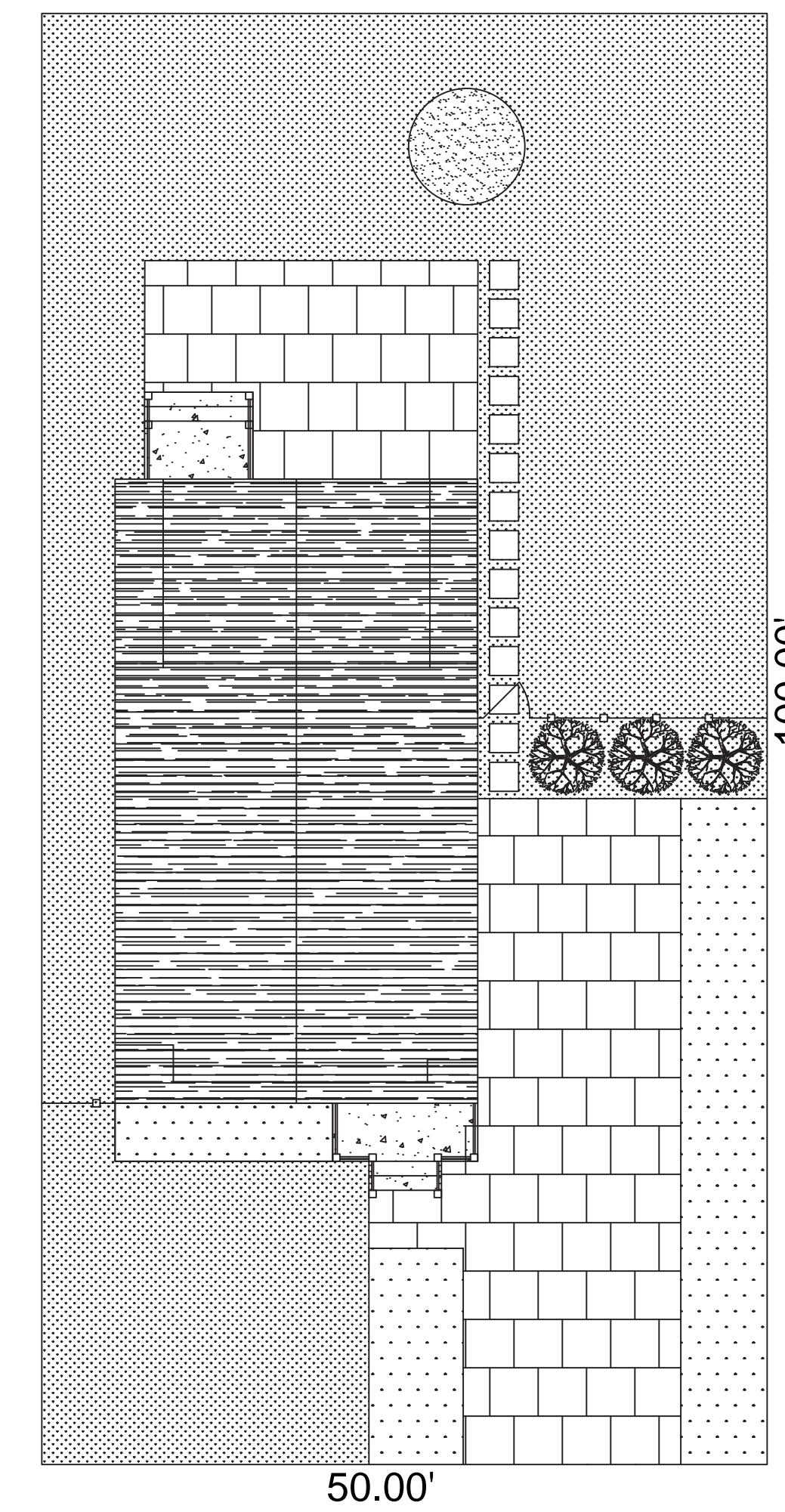
FIRST FLOOR:
ELIMINATE ONE BEDROOM
MODIFY STRUCTURE TO CHANGE PLAN TO AN OPEN PLAN CONCEPT AS INDI-
CATED IN PLANS
REPLACE ALL DOORS, TRIMS, FINISH SURFACES, MATERIALS, FIXTURES AND
APPLIANCES & CABINETS

SECOND FLOOR:
ADD LAUNDRY ROOM & STUDY NOOK
REORGANIZE BEDROOM CLOSETS AS INDICATED ON PLANS
REPLACE DOORS, TRIMS, FINISH SURFACES, MATERIALS, FIXTURES AND APPLI-
ANCES & CABINETS



- EXISTING CHAINLINK FENCING & BOLLARDS TO BE REMOVED
- EXISTING SITE WORK TO BE REMOVED
- EXISTING CONCRETE WALK & DRIVEWAY TO BE REMOVED
- EXISTING GRASS TO BE REPLACED
- SINGLE FAMILY RESIDENCE ROOFING TO BE REPLACED

1 DEMOLITION SITE PLAN
1"=10'-0"



- EXISTING TREE TO REMAIN IF VIABLE
- NEW 5' LEYLAND CYPRESS TREE
- NEW SPLIT RAIL FENCING
- NEW 24"x24" STONE PAVERS
- PLANTING SWALE
- PROVIDE NEW SOD
- NEW PERMEABLE CONCRETE W/ SAW CUT EXPANSION JOINTS
- NEW POURED CONCRETE PORCHES
- ROOFING TO BE REPLACED

2 PROPOSED SITE PLAN
1"=10'-0"

LEGEND

	POURED CONCRETE FOUNDATION		WALL SCONCE
	NEW WOOD FRAMED CONSTRUCTION		VANITY LIGHT
	SMOKE DETECTOR		INTERIOR RECESSED CEILING LIGHT 6" LED LIGHT, 18 WATTS, DIMMABLE
	CARBON MONOXIDE DETECTOR		INTERIOR CEILING MOUNTED LIGHT
	PROGRAMMABLE THERMOSTAT		INTERIOR KEYLESS LIGHT
	JUNCTION BOX		INTERIOR PENDANT LIGHT
	WALL/SOFFIT MOUNTED HVAC DIFFUSER		EXTERIOR CEILING MOUNTED LIGHT
			EXTERIOR WALL MOUNTED LIGHT

NOTE : ALL LIGHT FIXTURES EXCEPT INTERIOR RECESSED AND KEYLESS LIGHTS ARE
SELECTED BY OWNER PER CONTRACT ALLOWANCES

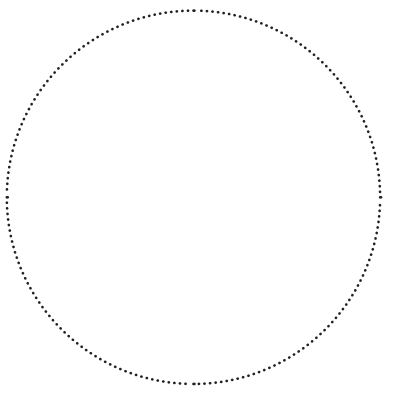
DESIGN/BUILDER:

TBD

ARCHITECT OF RECORD:

TBD

ARCHITECT SEAL:



DESIGNER:



bent/plans

KIESHA LOCKLEAR
560 SOUTH BAYVIEW AVE
FREEPORT, NY 11520
516-526-7900

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PROJECT INFORMATION

PROJECT TITLE:

**205 URBAN AVENUE
INTERIOR/EXTERIOR RENOVATION**

205 URBAN AVENUE
WESTBURY, NY 11590

CONTACT: JOE SANTAMARIA
TOWN OF NORTH HEMPSTEAD CDA
51 ORCHARD STREET
ROSLYN HEIGHTS, NY 11577
516-869-7810

PROJECT #: 160602
DATE ISSUED: 09-19-2016
REVISIONS: ---

DRAWN BY: RAKIESHA LOCKLEAR

CHECKED BY:

SHEET TITLE:
SITE PLAN

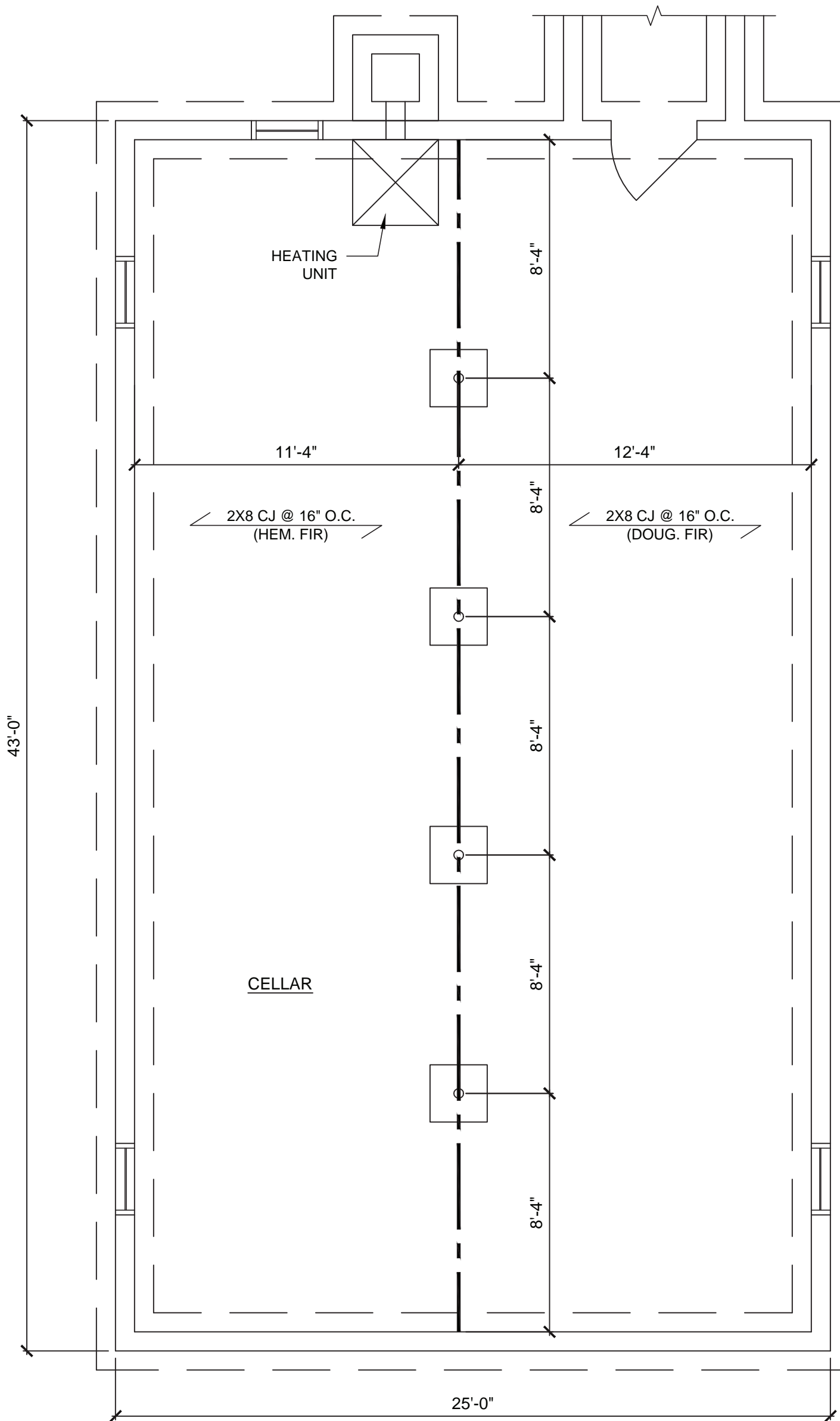
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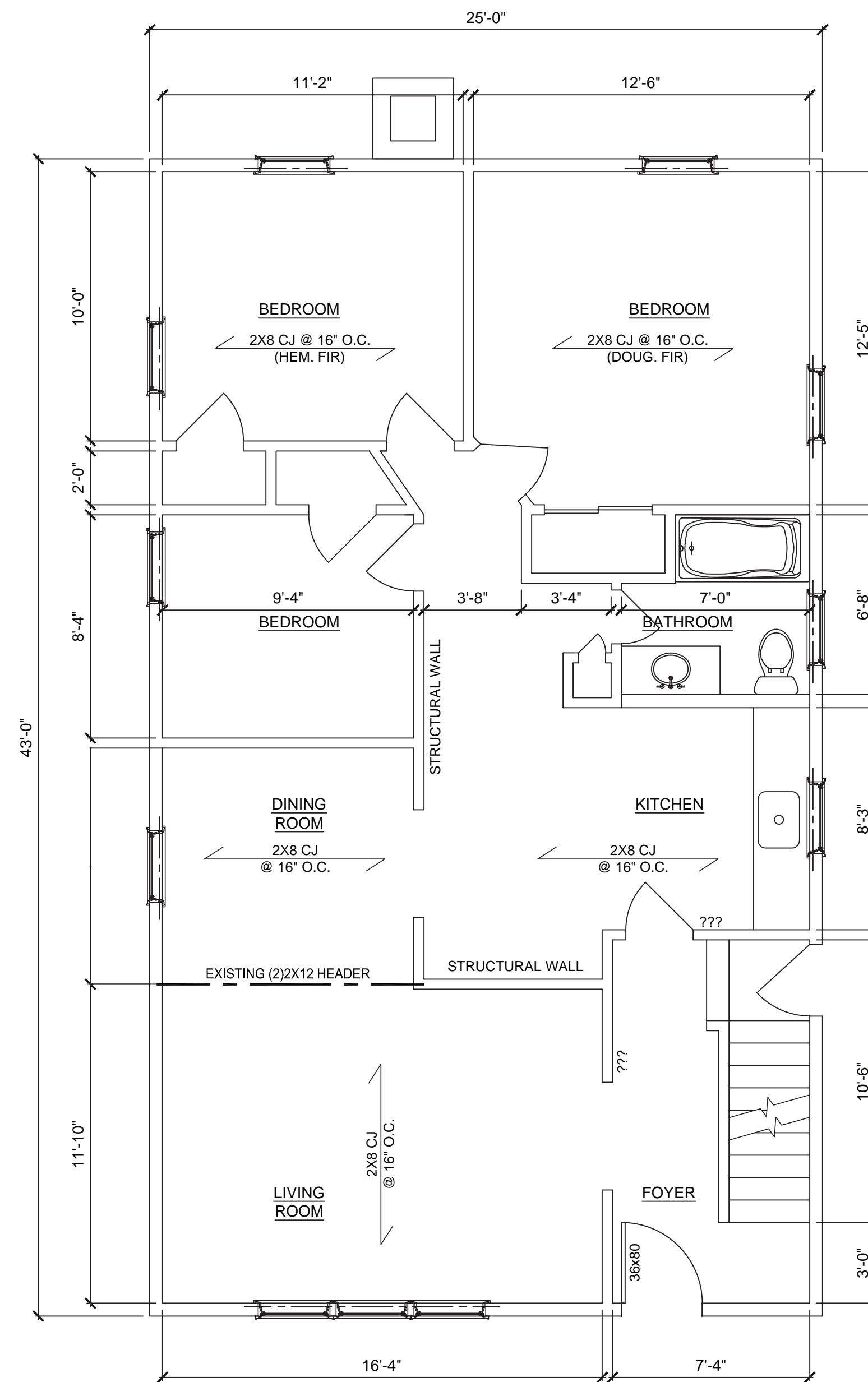
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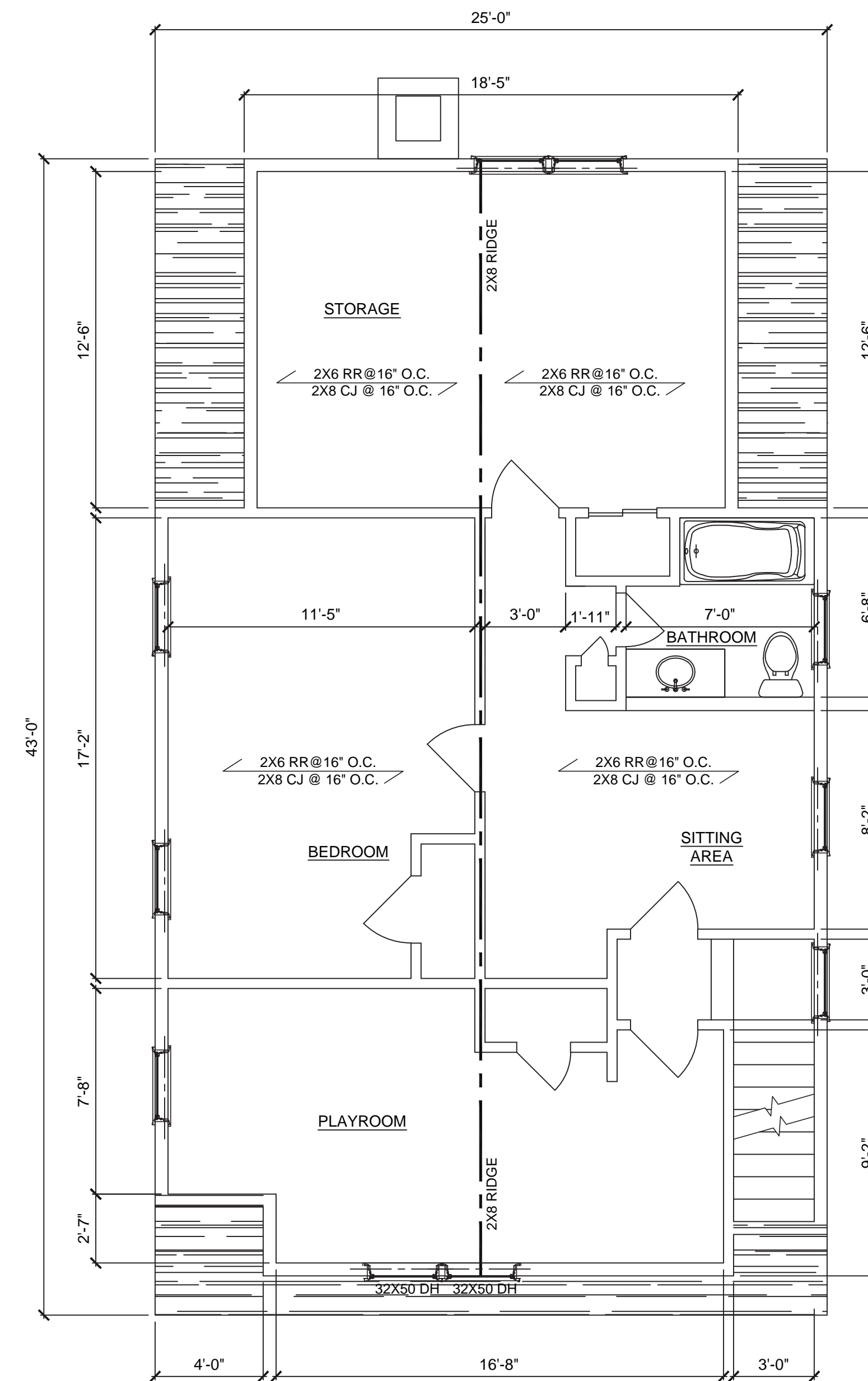
DOB APPROVAL:



1 EXISTING FOUNDATION / CELLAR PLAN
1/4"=1'-0"



2 EXISTING 1ST FLOOR PLAN
1/4"=1'-0"



3 EXISTING 2ND FLOOR PLAN
1/4"=1'-0"

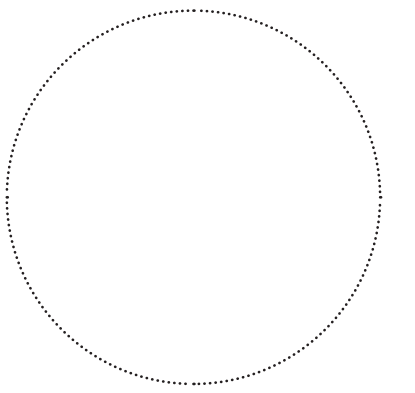
DESIGN/BUILDER:

TBD

ARCHITECT OF RECORD:

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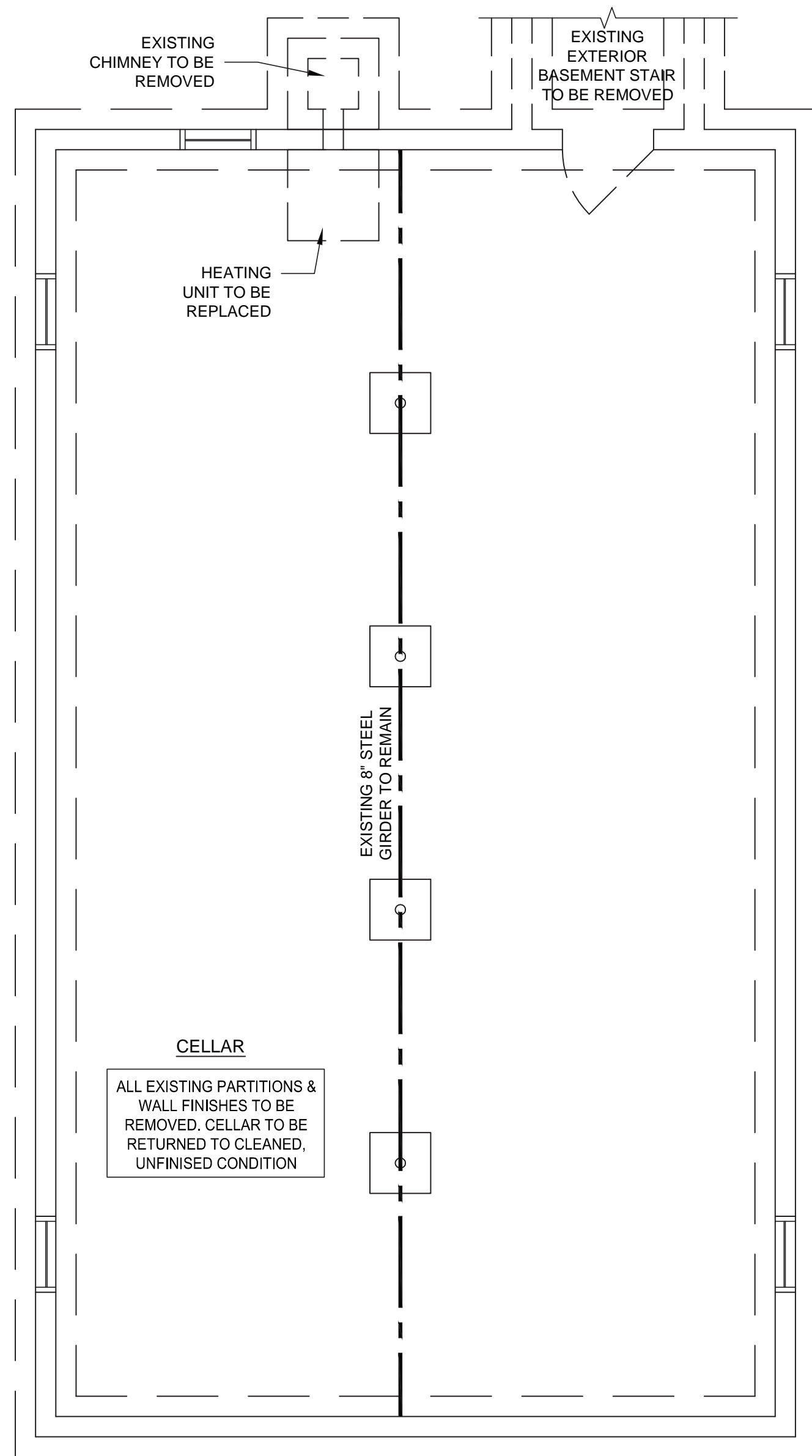
PROJECT #: 160602
DATE ISSUED: 09-19-2016
REVISIONS: ...

DRAWN BY: RAKIESHA LOCKLEAR
CHECKED BY:

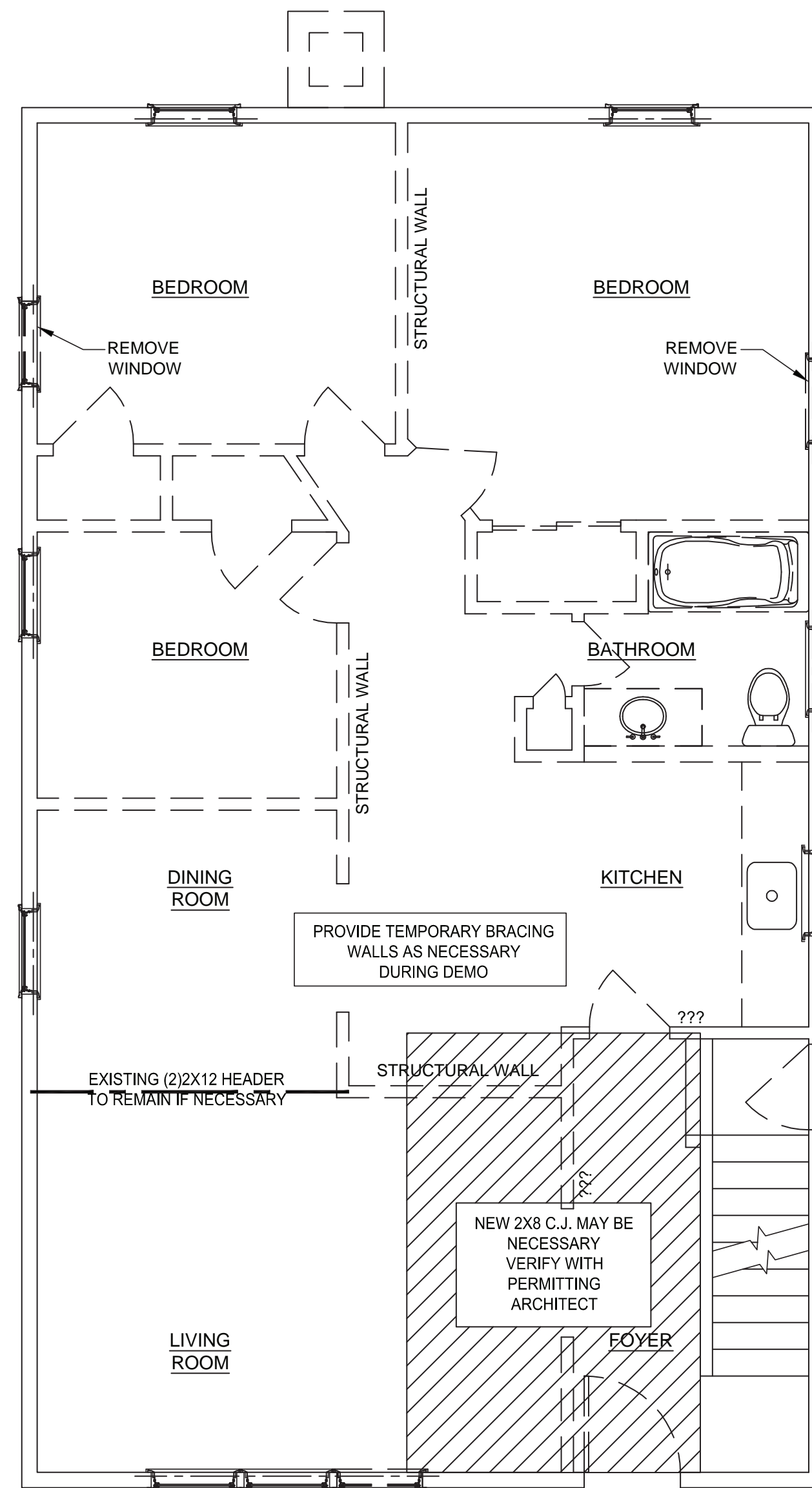
SHEET TITLE:
EXISTING PLANS

SHEET #: A-101.00	REVISION #: --
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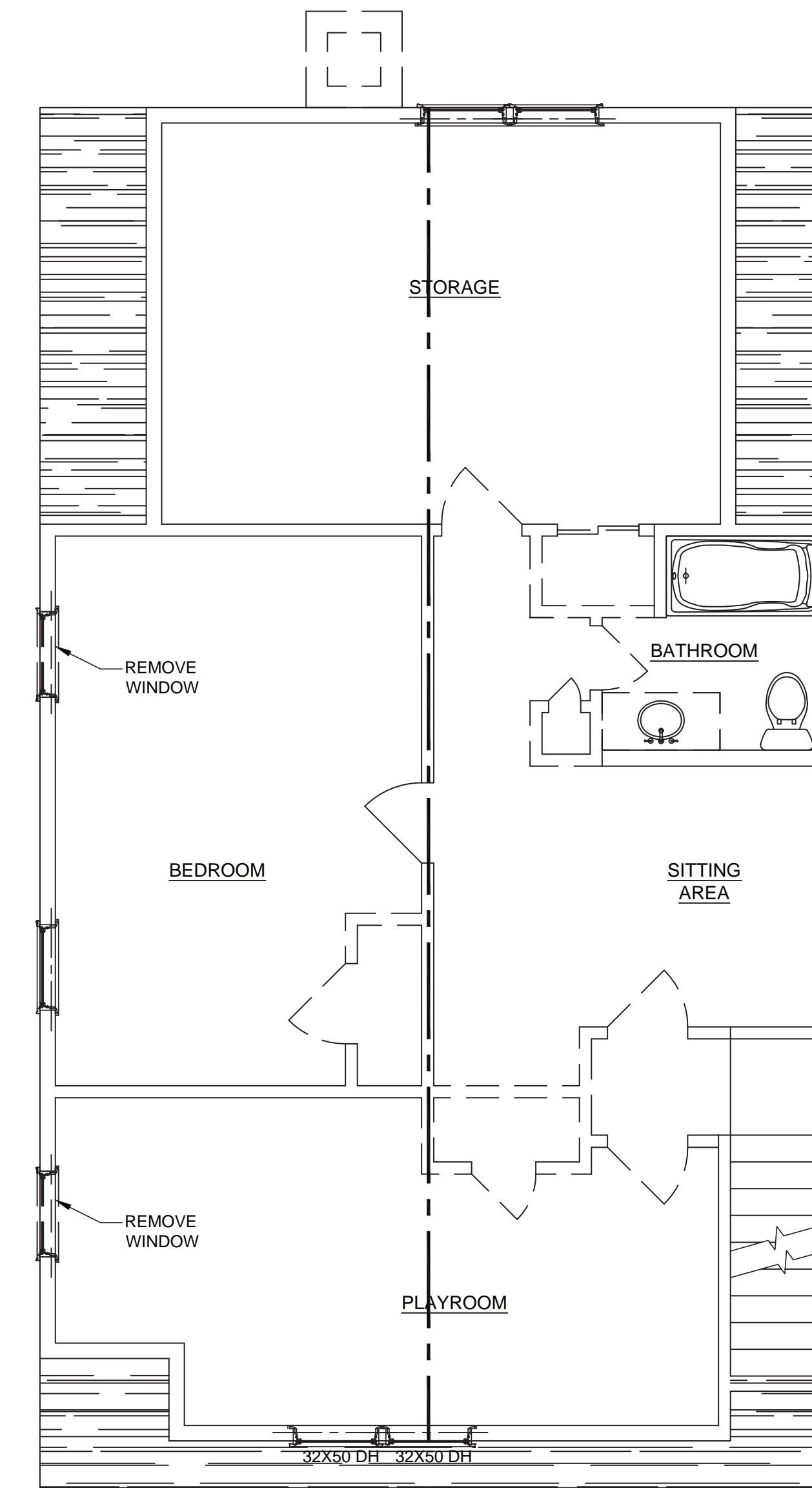
DOB APPROVAL:



1 FOUNDATION / CELLAR DEMO PLAN
1/4" = 1'-0"



2 1ST FLOOR DEMO PLAN
1/4" = 1'-0"



3 2ND FLOOR DEMO PLAN
1/4" = 1'-0"

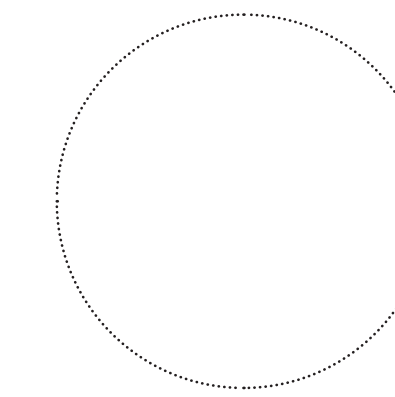
DESIGN/BUILDER:

TBD

ARCHITECT OF RECORD:

TBD

ARCHITECT SEAL:



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516-869-7810

PROJECT #: 160602
DATE ISSUED: 09-19-2016
REVISIONS: ---

DRAWN BY: RAKIESHA LOCKLEAR
CHECKED BY:

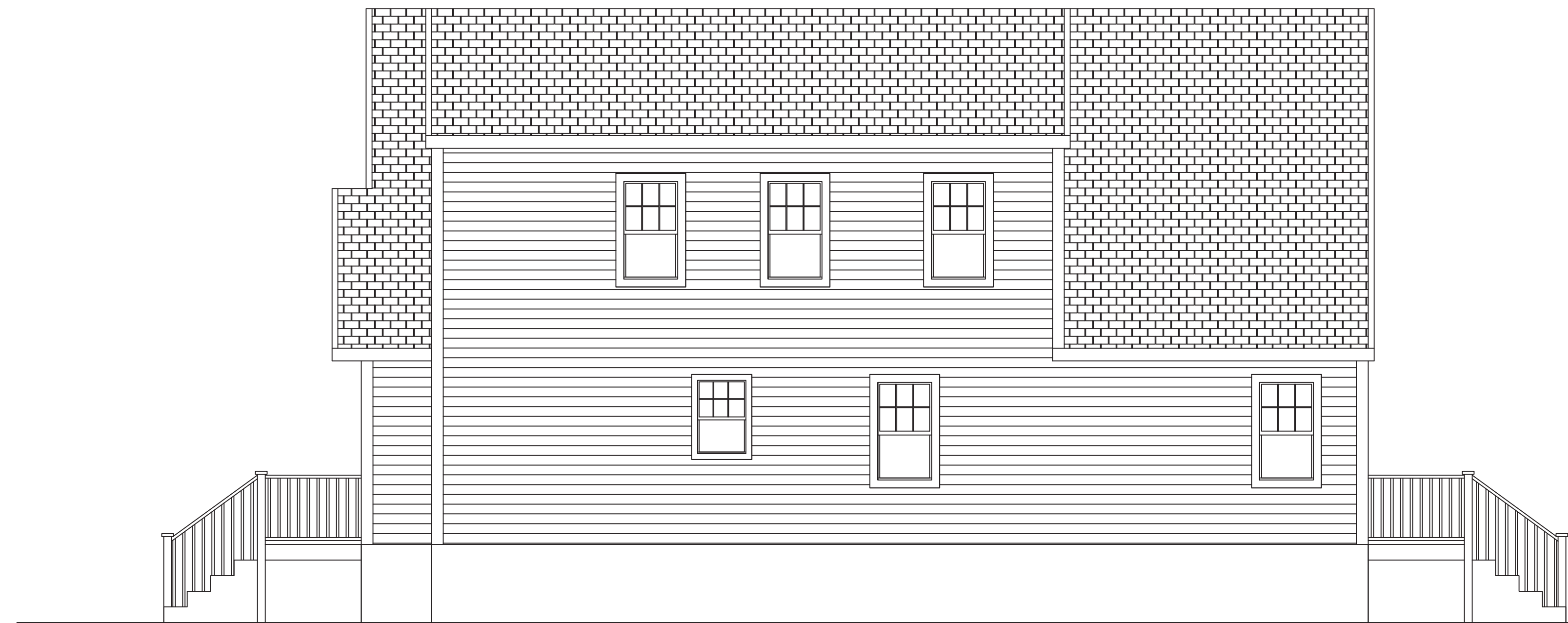
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DEMOLITION PLANS

SHEET #:	REVISION #:
A-102.00	--

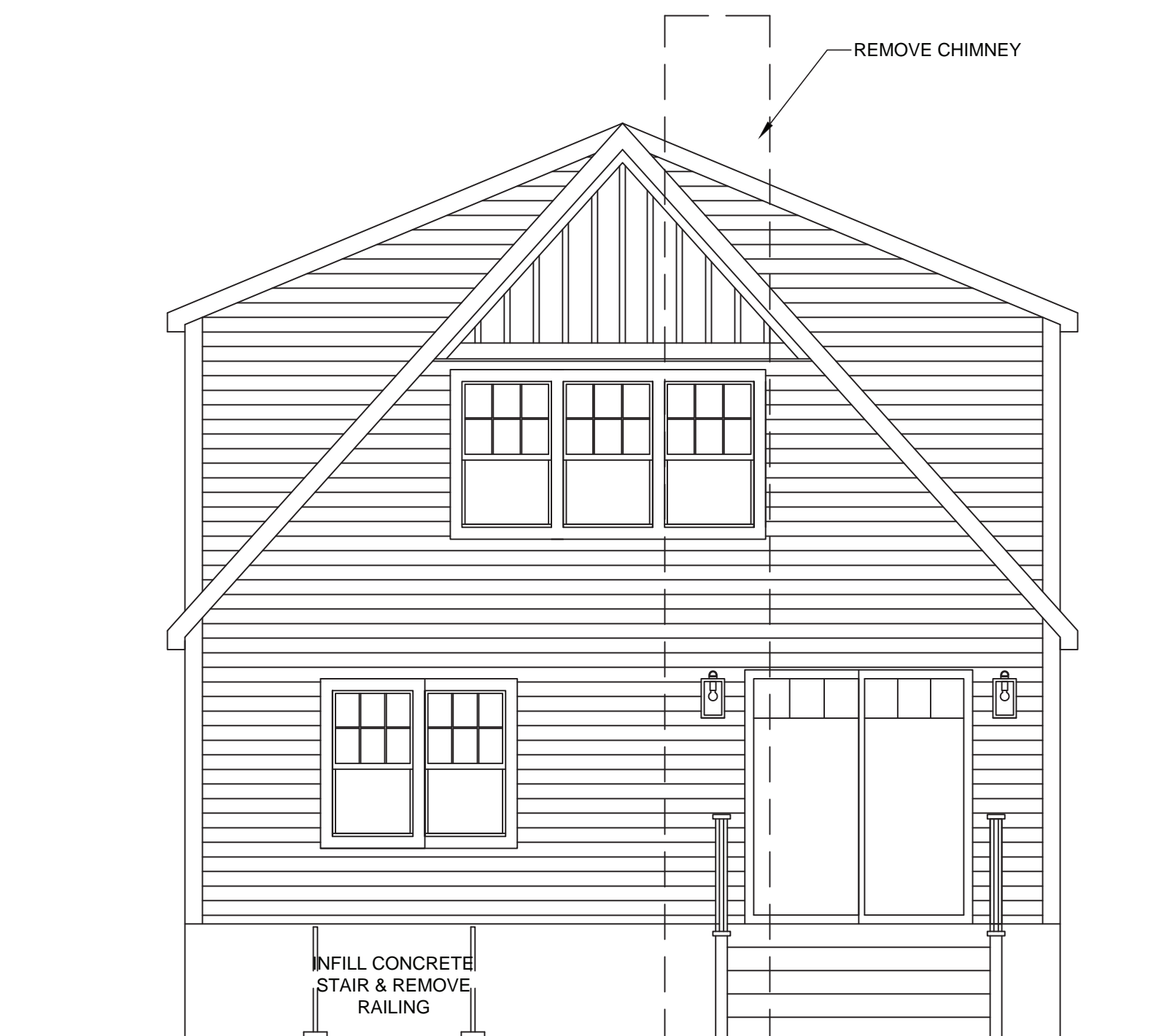
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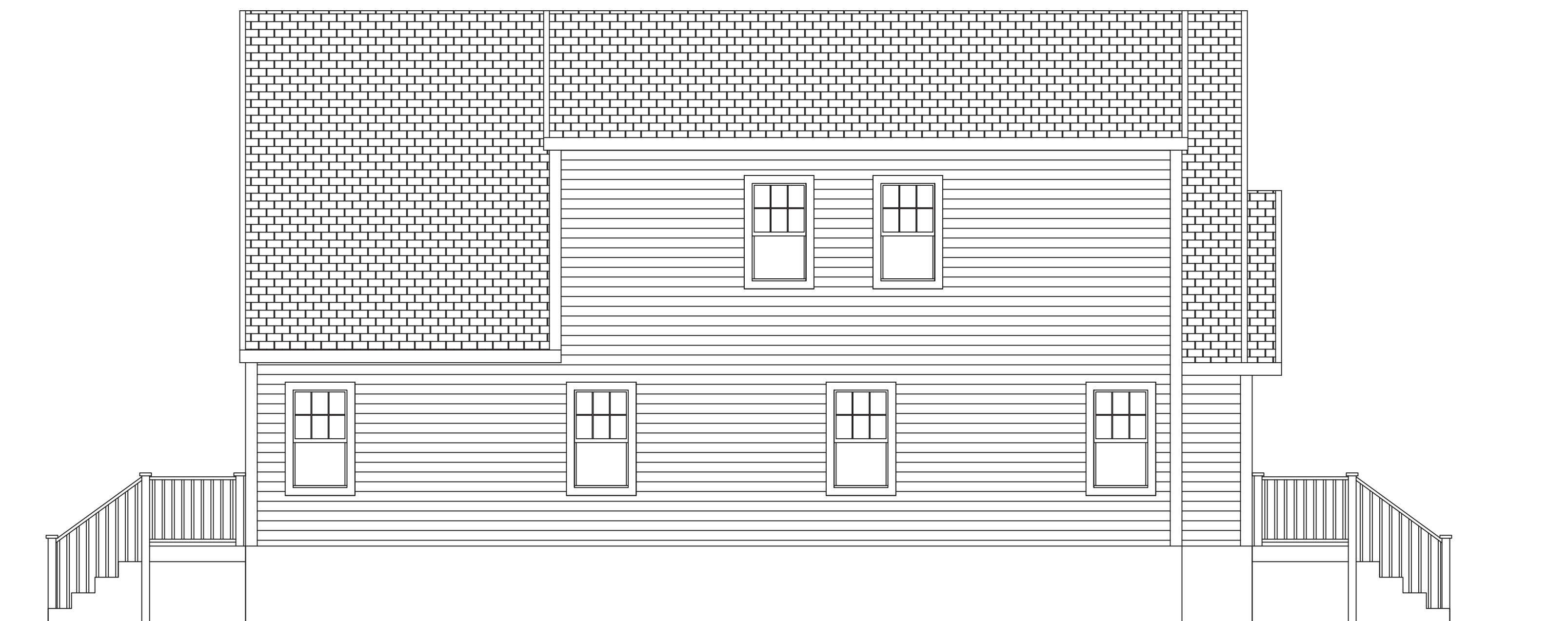
1 PROPOSED FRONT ELEVATION
1/4"=1'-0"



2 PROPOSED RIGHT ELEVATION
1/4"=1'-0"



3 PROPOSED REAR ELEVATION
1/4"=1'-0"



4 PROPOSED LEFT ELEVATION
1/4"=1'-0"

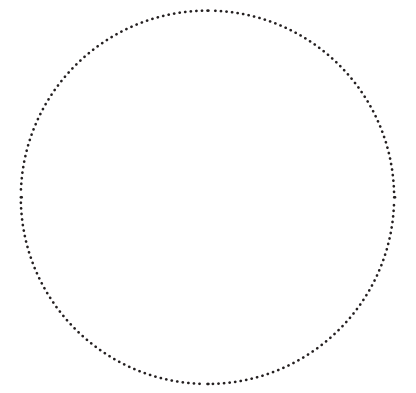
DESIGN/BUILDER:

TBD

ARCHITECT OF RECORD:

TBD

ARCHITECT SEAL:



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PROJECT INFORMATION

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WESTBURY, NY 11590

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TOWN OF NORTH HEMPSTEAD CDA
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516-869-7810

PROJECT #: 160602
DATE ISSUED: 09-19-2016
REVISIONS: ---

DRAWN BY: RAKIESHA LOCKLEAR
CHECKED BY:

SHEET TITLE:
PROPOSED ELEVATIONS

SHEET #:	REVISION #:
A-104.00	--

DOB APPROVAL:

FINISH & FIXTURE SCHEDULE		
Client: Town of North Hempstead Community Development Agency Project: 205 Urban Avenue, Westbury, NY 11590		
NOTE: MATERIALS HERIN OR OWNER APPROVED EQUAL SHALL BE SPECIFIED BY ARCHITECT. COLORS OR PRODUCTS NOT SPECIFIED SHALL BE SELECTED BY OWNER AND OWNER ALLOWANCES WHERE NOTED HERIN.		
CATEGORY	LOCATION	SPECIFICATION
Landscaping	Lawn	Sod
	Trees	(8) PICES 5'-6' Leyland Cypress
	Plants	(5) PICES 4'-6' Rhododendrons
	Storm Water Contamenent.	Per Town code design build storm water; permeable hard surfaces, containment and planting fields with minimal plant selections.
	Irrigation	Design build minimal sprinkler system and timer switch control for adequate irrigation.
Roofing	Roof	TIMBERLINE AMERICAN HARVEST ASPHALT SHINGLE ROOFING SYSTEM, COLOR: NANTUCKET MORNING WITH COBRA SNOW COUNTRY (OR EQUIVALENT) RIDGE VENT AND RIDGLASS OR TIMBERTEX RIDGECAP SHINGLES. HAVING 40-YEAR MANUFACTURER WARRANTY SHALL BE INSTALLED BY CERTIFIED MANUFACTURER INSTALLER, WITH ALL ACCESSORIES, INCLUDING EDGE FLASHING, STARTER STRIP, ICE AND WATER SHIELD, drip edge on all roof edges. PAINT PVC ROOF VENT PIPES TO MATCH ROOF
	Rakes and Fascia's	Extend-block out rakes and fascia's to eliminate zero-fascia and rakes for adequate space to fit ridged insulation board, siding and corner boards so that same do not project beyond rakes and fascia's.
Entry's	Exterior Railing	HBG BUILDER SELECT RAILING KIT WITH 1-1/2" SQUARE BALUSTERS, & 4"X40" NEWEL POSTS & 'NEW ENGLAND' STYLE CAPS - COLOR WHITE
	Exterior Lights	PROGRESS LIGHTING REFUGE COLLECTION 1-LIGHT OIL RUBBED BRONZE WALL LANTERN MODEL: P6031-10X
	Mail Box / House #'s	(MAILBOXBIGBOX.COM) ECCO E4 MAILBOX LARGE WALL MOUNT WITH MATCHING FLOATING NUMBERS, OIL RUBED BRONZE FINISH.
Exterior Siding and Vinyl Carpentry	FASCIA AND RAKE	.019" THICK BAKED ENAMEL WHITE ALUMINUM CLAD TRIM
	RIGIDED INSULATION	2 LAYERS OF 3/8" EXPANDED POLYSTYRENE (EPS) INSULATION.
	WALL	WALL SIDING BY CRANE (EXTERIORPORTFOLIO.COM) MARKET SQUARE DOUBLE 5" COLOR: GRAPHITE
	GABLE WALL TOP	BOARD AND BATTEN SIDING BY CRANE (EXTERIORPORTFOLIO.COM) PREMIUM POINTE 360 5-1/2" (PRODUCT# S55PPBB) COLOR: DRIFTWOOD
	SOFFITS	CRANE EXTERIOR PORTFOLIO.COM TRIPLE 3-1/3" PPVS VINYL SOFFITS WITH HIDDEN VENTS
	MOUNTING BLOCKS	CRANE EXTERIOR PORTFOLIO.COM MOUNTING BLOCKS SAME COLOR AS SIDING AT ALL SIDING PENETRATIONS AND MOUNTINGS; LIGHT FIXTURES, ELECTRICAL PANEL, ELECTRIC RECEPTACLES AND METER PAN, HOSE BIBS, VENTS AND PIPES.
	CORNER BOARDS	EXTERIOR STANDING CORNER TRIM COLOR TO MATCH SITING COLOR BY CRANE EXTERIOR PORTFOLIO (EXTERIORPORTFOLIO.COM)5-1/2" CORNER POST (PRODUCT# L5575IP)
	DOOR TRIM	EXTERIOR DOOR TRIM SHALL BE EXTERIOR PORTFOLIO AS MANUFACTURED BY CRANE ARCHITECTURAL ESSENTIALS ACCESSORIES 3-1/2" "FOAM CORE WINDOW-LINEAL (PRODUCT CODE: L5575IP).
	WINDOW TRIM	EXTERIOR PORTFOLIO MANUFACTURED BY CRANE ARCHITECTURAL ESSENTIALS ACCESSORIES AND CONCEALED J-MOLD THROUGH, 3-1/2" FOAM CORE VINYL WINDOW-LINEAL (PRODUCT CODE: L5575IP) ON JAMBS AND HEAD AND VINYL FOAM CORE WINDOW SILL-LINEAL (PRODUCT CODE: WSLIP12) WITH END CAPS (PRODUCT CODE: WSENDCAP) ON SILL.
	DOOR TRIM	TRIM HEAD AND JAMB SHALL BE EXTERIOR PORTFOLIO AS MANUFACTURED BY CRANE ARCHITECTURAL ESSENTIALS ACCESSORIES 3-1/2" "FOAM CORE WINDOW-LINEAL (PRODUCT CODE: L5575IP). SILL KICK VERSATEX BOARD.
Windows & Doors	FRONT ENTRY DOOR	FRONT DOOR: MILLIKEN MILLWORK (HOMEDEPOT.COM) 36" X 80" 3-PANEL SHAKER PAINTED FIBERGLASS (Model Z015495R -
	PAITTO DOOR	ANDERSON 100 SERIES GLIDER, INTERNAL UPPER GRID LIGHTS 3-4 LIGHT OVER 1 LIGHT SELECTED BY OWNER
	INTERIOR	INTERIOR DOORS: SQUARE 2 OR 4 PANEL SELECTED BY OWNER, PAINT GRADE FACTORY PRIMED, NO GRAIN, FOAM OR STRANDED-FIBERS CORE, SINGLE BORE.
	CONDITIONED SPACE WINDOWS	ANDERSEN SERIES 200 DOUBLE HUNG WINDOWS WITH INTERNAL TOP SASH MULLIONS ONLY w/ NO SILL EXTENTION JAMB. DINING AND LIVING ROOM WINDOWS 32"x50".
	CELLAR WINDOWS	FULLY WELDED AND INSULATED VINYL HOPPER OR SLIDER WITH SCREEN.
	INTERIOR TRIM	BASE MOLDING: 4-1/2" PAINT GRADE CLAM SHELL. DOOR AND WINDOW JAMB AND HEAD; 2-1/2" PAINT GRADE CLAM SHELL. WINDOWS SILLS: ANDERSON 200 WITHOUT SILL EXTENTION FROM FACTORY. FIELD INSTALLED 5/4" PAINT GRADE SILL WINDOW SILL APRON: 1X4 SQUARE PAINT GRADE. JOINTS: 45° AT HEAD AND JAMB, JAMB BUTT-JOINTE ON-TOP OF SILL, APRON SQUARE CUT ALIGNED WITH OUTSIDE OF JAMB

FINISH & FIXTURE SCHEDULE		
Client: Town of North Hempstead Community Development Agency Project: 205 Urban Avenue, Westbury, NY 11590		
NOTE: MATERIALS HERIN OR OWNER APPROVED EQUAL SHALL BE SPECIFIED BY ARCHITECT. COLORS OR PRODUCTS NOT SPECIFIED SHALL BE SELECTED BY OWNER AND OWNER ALLOWANCES WHERE NOTED HERIN.		
CATEGORY	LOCATION	SPECIFICATION
Hardware		
	Door Bell	ELECTRIC HARD WIRED DOOR BELL CHIME W/ SIGNATURE HARDWARE, CALIBAN DOORBELL, OIL RUBBED BRONZE FINISH. SKU: 918745. MOUNT BUTTON ON DOOR TRIM NOT SIDING.
	Hinges	ALL HINGES SHALL BE AGED DARK BRONZE FINISH
	Door Stops	RIGID, WALL MOUNT-STANDOFF. MATCH FINISH OF SCHLAGE ADDISON GEORGIAN AGED BRONZE OR MATTE BLACK FINISH CLOSELY AS POSSIBLE AS COMMERCIALY AVAILABLE.
	Pocket Doors	EDGE MOUNT, DOUBLE SIDED PULL HANDLE. MATCH FINISH OF SCHLAGE ADDISON GEORGIAN AGED BRONZE OR MATTE BLACK FINISH CLOSELY AS POSSIBLE AS COMMERCIALY AVAILABLE.
	Handsets	SCHLAGE ADDISON GEORGIAN AGED BRONZE OR MATTE BLACK:
	Entry	F51-GEO-ADD AGED BRONZE OR MATTE BLACK, KEYED ENTRY, AND B60N-ADD AGED BRONZE OR MATTE BLACK SINGLE CYLINDER GRADE 1 DEADBOLT W/ ADDISON ROSE. ENTRY DOORS KEYED ALIKE
	Patio	HANDLES TO MATCH FINISH OF SCHLAGE ADDISON GEORGIAN AGED BRONZE OR MATTE BLACK FINISH CLOSELY AS POSSIBLE AS COMMERCIALY AVAILABLE FROM ANDERSON.
	Closets	F170-GEO-ADD AGED BRONZE OR MATTE BLACK, DUMMY.
	Bedrooms & Baths	F40-GEO-ADD AGED BRONZE OR MATTE BLACK, PRIVACY LOCK ON MASTER BEDROOM AND BATHROOMS, NO PRIVACY ON OTHERS BEDROOMS.
HVAC		
	HVAC	GOODMAN GMVC96, TWO STAGE, VARIABLE SPEED, ECM GAS FURNACE 96% AFUE. SYSTEM SIZE AND DISTRIBUTION BY PERMITTING ARCHITECT.
	BATHROOM EXHAUSTS	150 CFM timer controled combo light/exhaust fan to run every few hours for 30 minuits per HERS raters specification
Plumbing		
	PIPE	NEW PIPING CROSSLINKED POLYETHYLENE WITH COPPER STUB OUTS AND PVC DRAIN AND VENT SYSTEM.
	HOTWATER HEATER	A.O. SMOOTH PROMAX 50 GAL. ELECTRIC WATER HEATER MODEL PNT-50 (10 YEAR TANK & 6 YEAR PARTS WARRANTY) AND INSULATING BLANKET WRAP.
	Laundry	Install utilities, venting and overflow pan for gas and electric dryer and washer, appliances by others.
	BATHROOM ACCESSORIES	TUMBLER SETS, TOWEL ROD, ROBE HOOK, SHOWER CURTAIN ROD, SOAP DISHES OWNERALLOWANCE SELECTION.
	Kitchen Faucet	FACUET AND SOAP DISPENSER OWNER ALLOWANCE SELECTION.
	Bathroom lavatory Faucets	OWNER ALLOWANCE SELECTION.
	Toilets	ELONGATED WHITE TOILET OWNER ALLOWANCE SELECTION.
	Bathtub	THREE, FOUR , OR TWO PICE ACRYLIC VINYL OR FIBERGLASS WHITE TUB AND WALL SET SELLECTED BY OWNER ALLOWANCES
	Shower/Tub Faucet	1-HANDLE TUB & SHOWER FAUCET KIT OWNER ALLOWANCE SELECTION.
Electrical		
	SERVICE	NEW 200 AMP ELECTRIC SERVICE PANEL WITH ALL ELECTRICAL DISTRIBUTION AND WIRING SYSTEMS TO PROVIDE ELECTRICAL SERVICE TO ALL LIGHTING FIXTURES, EQUIPMENT AND OUTLETS.
	COMMUNICATIONS/MEDIA	LIVING ROOM AND BEDROOMS, ONE LOCATION COMBINED INTERNET/CABLE OUTLET. OFFICE AND STUDY NOOK TO HAVE ONE LOCATION COMBINED INTERNET/CABLE/TELPHONE OUTLET.
	Foyer Light	PROGRESS LIGHTING P-3976-20 ANTIQUE BRONZE DYNAMO 25-7/16" FOUR LIGHT FLUSH MOUNT CEILING FIXTURE
	Dining Room Light	MERCURY ROW BISBEE 4-LIGHT DRUM CHANDELIER OLDE BRONZE FINISH (WAYFAIR.COM SKU: MCR95561)
	Kitchen Island	TWO (2) PENDENTS OWNER ALLOWANCE SELECTION.
	Recessed Lights	(HOMEDPOT.COM) GLOBE ELECTRIC 5 IN IC RATED WHITE RIDGED BAFFLE RECESSED LIGHTING KIT (4PACK) Model # 91014
	Bedroom Ceiling Lights	(HOMEDPOT.COM) CANARM CARLINA 2-LIGHT OIL RUBBED BRONZE SEMI FLUSH MOUNT, MODEL # ISF520A020RE
	1st Floor 1/2 Bath	3 LIGHT VANITY WALL MOUNT OWNER ALLOWANCE SELECTION.
	2nd Floor Bath	3-4 LIGHT VANITY WALL MOUNT OWNER ALLOWANCE SELECTION.
Appliances		
	Kitchen	REFRIGERATOR: FRIGIDAIRE 25.54 CU FT SIDE BY SIDE STAINLESS STEEL, MODEL# FFSS2614QS WITH ICE MAKER DISHWASHER: FRIGIDAIRE FRONT CONTROL STAINLESS STEEL, MODEL # FFB2411NS MICROWAVE: FRIGIDAIRE OVER RANGE MICROWAVE/EXHAUST VENT TO EXTERIOR STAINLESS STEEL, MODEL # FFMV164L RANGE: FRIGIDAIRE GAS RANGE SELF CLEANING STAINLESS STEEL, MODEL# FFGF3053LS
Flooring/Tile		
	Wood flooring unless noted otherwise.	LUMBER LIQUIDATORS SCHON BY MAYFLOWER, HUDSON RED OAK 3/8" WOOD TUNG AND GROVE STAPLE DOWN, OR APPROVED EQUAL
	Bathroom	Owner Allowance selected 6"x 6" diamond pattern install with matching factory edged 5" +/- 2" wall base.
	Kitchen Back Splash	Owner Allowance selected interlocking 12"x12" x 6mm+/- 2mm glass and porcelain mesh mounted mosaic tile on primed gypsum board wall(s) at counters with commercially matched metal bullnose edges on exposed edges of tile not abutting counter or cabinet.

FINISH & FIXTURE SCHEDULE		
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CATEGORY	LOCATION	SPECIFICATION
Millwork		
	Interior Stair	NEWEL POST: CAROLINA STAIR VICTORIAN SERIES ,PLAIN PANEL, (PRODUCT # 4091-P) RED OAK, MATCH FLOORING FINISH. RAIL: POLYURETHANED RED OAK MATCH FINISH OF FLOORING, HOMEDEPOT 65610R-ESR-1200L TREAD: POLYURETHANED RED OAK MATCH FINISH OF FLOORING. RISERS: PAINT GRADE WOOD PAINT TO MATCH WINDOW AND DOOR TRIM BALUSTRADES: SQUARE 1/4" RED OAK MATCH FINISH OF FLOORING OR PAINT GRADE PAINT SAME AS RISERS. HARDWARE: EXPOSED HARDWARE OIL RUBED BRONZ FINISH
	Kitchen Cabinets and Counter	CABINETS: CINNAMON SHAKER SQUARE DOOR & DRAWER STYLE, MAPLE VENEER ALL PLYWOOD CONSTRUCTION, 36" BASE, 24-42"HX12" DEEP UPPER CABINETS W/ TOP CROWN, PAINTED LIGHT GRAY COLOR. WSD Development, Inc., 40 Newton Blvd., Freeport, NY 11520, (516) 379-0282 COUNTER: 1-1/4" THICK SOLID GRANITE OR HARD SURFACE GIALLO FIORITO COUNTERTOP WITH UNDERMOUNT STAINLESS STEEL SINGLE BOWL BY WSD Development, Inc., 40 Newton Blvd., Freeport, NY 11520, (516) 379-0282.
	1/2 Bath	Vanity selected as per Owner Allowances.
	2nd Floor Bath	Vanity selected as per Owners Allowances.
	Closets	STEEL HANG RODS W. BRACKETS AT ENDS AND EVERY 3' AND MIN. 18" D SHELF ABOVE
	Cabinet Hardware	Selected as per Owner Allowances.
Wall/Ceiling Finishes		
	Interior	INTERIOR WALLS SHALL BE 1/2" GWB, TAPED, SPACKLED, AND PAINTED. (1 COAT PRIME, FINISH PER MANUFACTURER RECOMENDATION) INTERIOR CEILINGS SHALL BE 1/2" GWB, TAPED, SPACKLED, AND PAINTED. (1 COAT PRIME, FINISH PER MANUFACTURER RECOMMENDATION.
Paint		
	Kitchen, Dining, Living, Halls Bedrooms and Common Areas.	Same color and finish selection for all locations as follows; one ceiling color, one wall color, one trim color. Colors selected owner.
	Bathrooms	One ceiling color, one wall color, one trim color. Color selected by owner.
General		
	Cellar	Power wash and bleach clean all surfaces including overhead wood joists and decking.

DESIGNER:



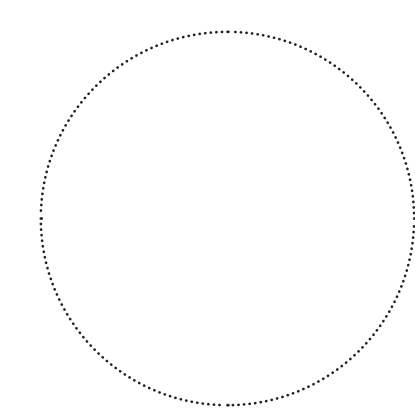
bent/plans

KIESHA LOCKLEAR
560 SOUTH BAYVIEW AVE
FREEPORT, NY 11520
516-526-7900

CAD files, sealed drawings and specifications are instruments of service whose ownership belongs to Bent Plans, Inc. Unapproved use, changes or publication are prohibited unless expressly approved by Bent Plans, Inc. Infringements will be prosecuted. Contractor shall verify all field conditions and dimensions and be responsible for field fit and quantity of work. No allowances shall be made on behalf of the contractor for any error or neglect on his part. In a conflict between sealed drawings and electronic files, the sealed drawings will govern.

ARCHITECT OF RECORD:

ARCHITECT SEAL:



PRE-EXISTING AVERAGE GRADE

(118.86 + 118.74) = 237.60 / 2 = 118.80 x 100 = 11,880.00
 (118.74 + 117.50) = 236.24 / 2 = 118.12 x 75 = 8,859.00
 (117.50 + 116.42) = 233.92 / 2 = 116.96 x 100 = 11,696.00
 (116.42 + 118.86) = 235.28 / 2 = 117.64 x 75 = 8,823.00
 350 = 41,258.00

THE PRE-EXISTING AVERAGE GRADE = 41,258.00/350 = 117.88

NOTE:

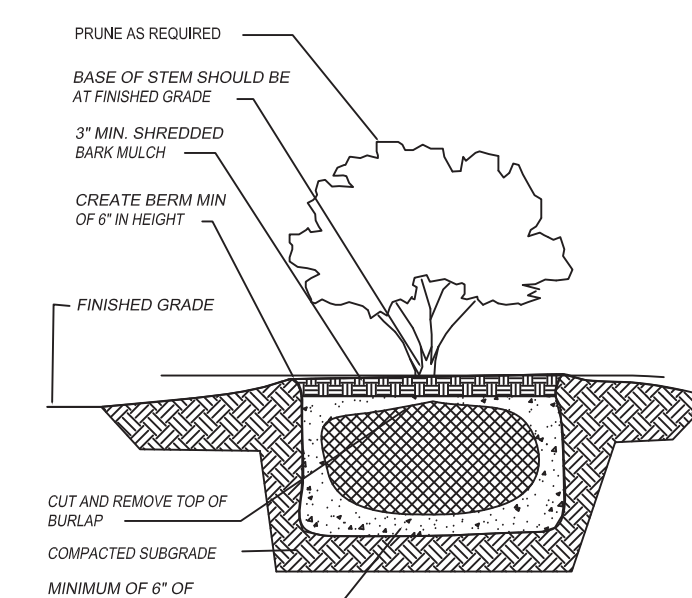
- FOUNDATION LOCATION SURVEY REQUIRED PRIOR TO FRAMING
- UPDATED SURVEY WITH RIDGE AND EAVE HEIGHT IS REQUIRED AFTER FRAMING

SITE DATA:

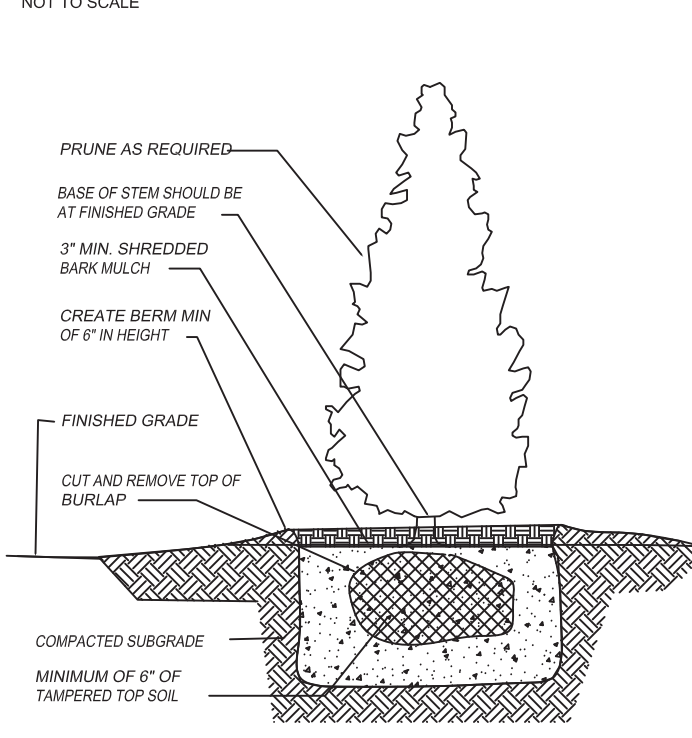
ZONED : R-C	REQUIRED	EXISTING	PROPOSED	DRAINAGE CALCULATIONS:
LOT SIZE	5,000 SQFT MIN.	N/A	7,500.0 SF	IMPERVIOUS AREA NEW DRIVEWAY (13x25) = 325 SQ FT WALKWAY = 40 SQ FT MAIN HOUSE & FRONT PORCH = 1,096 SQ FT REAR PATIO = 130 SQ FT TOTAL IMPERVIOUS AREA = 1,591 SQ FT STORAGE CAPACITY REQUIRED = .25 X 1,591 = 398 C.F. DRYWELL SIZE REQUIRED (2) 8'-0" DIAMETER X 5'-0" DEEP = 422 C.F. > 398 C.F. (REQ'D)
35 % LOT COVERAGE	2,625 SQFT MAX		980.0 SF	
FIRST FLOOR AREA		N/A	980.0 SF	
2ND FLOOR AREA		N/A	1,960.0 SF	
TOTAL GROSS FLR. AREA 50 %	MAX 3,750 SQFT	N/A	1,960.0 SF	
FRONT YARD AVERAGE	25 FT AVERAGE	21.5 FT	25.0' FT	
SIDE YARD	5 MIN	N/A	10.00' FT	
OTHER SIDE	13.5	N/A	43.0' FT	
SIDE YDS 25% OF LOT WIDTH 50 FT	18.75 FT	N/A	53.0' FT	
REAR YARD	15 FT	N/A	28.25' FT	
RIDGE HEIGHT	30 FT MAXIMUM	N/A	27.8' FT	
EAVE HEIGHT	22 FT MAXIMUM	N/A	17.6' FT	

PLANTING SCHEDULE					
KEY	QUA.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
(A)		EXISTING PLANTING TO REMAIN			TRIM AS REQUIRED
(B)	7	RHODODENDRON		2'-6" HIGH	B&B, FULL AND DENSE
(C)	8	JUNIPER	SEA GREEN	4'-0" HIGH	B&B, FULL AND DENSE

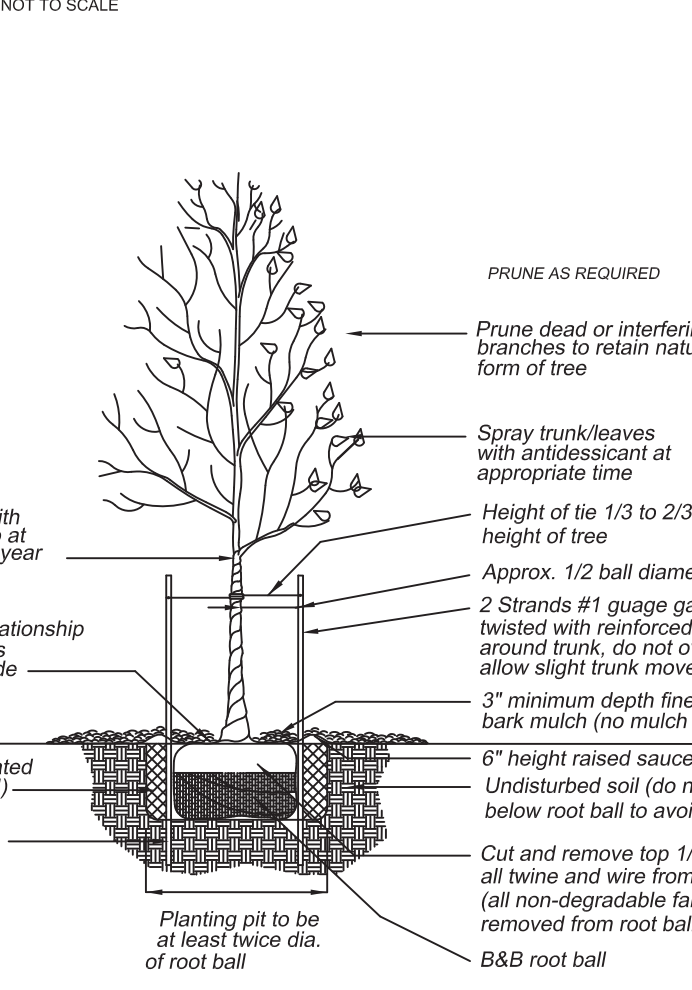
LANDSCAPING DETAILS



SHRUB PLANTING DETAILS



TALL SHRUB PLANTING DETAIL



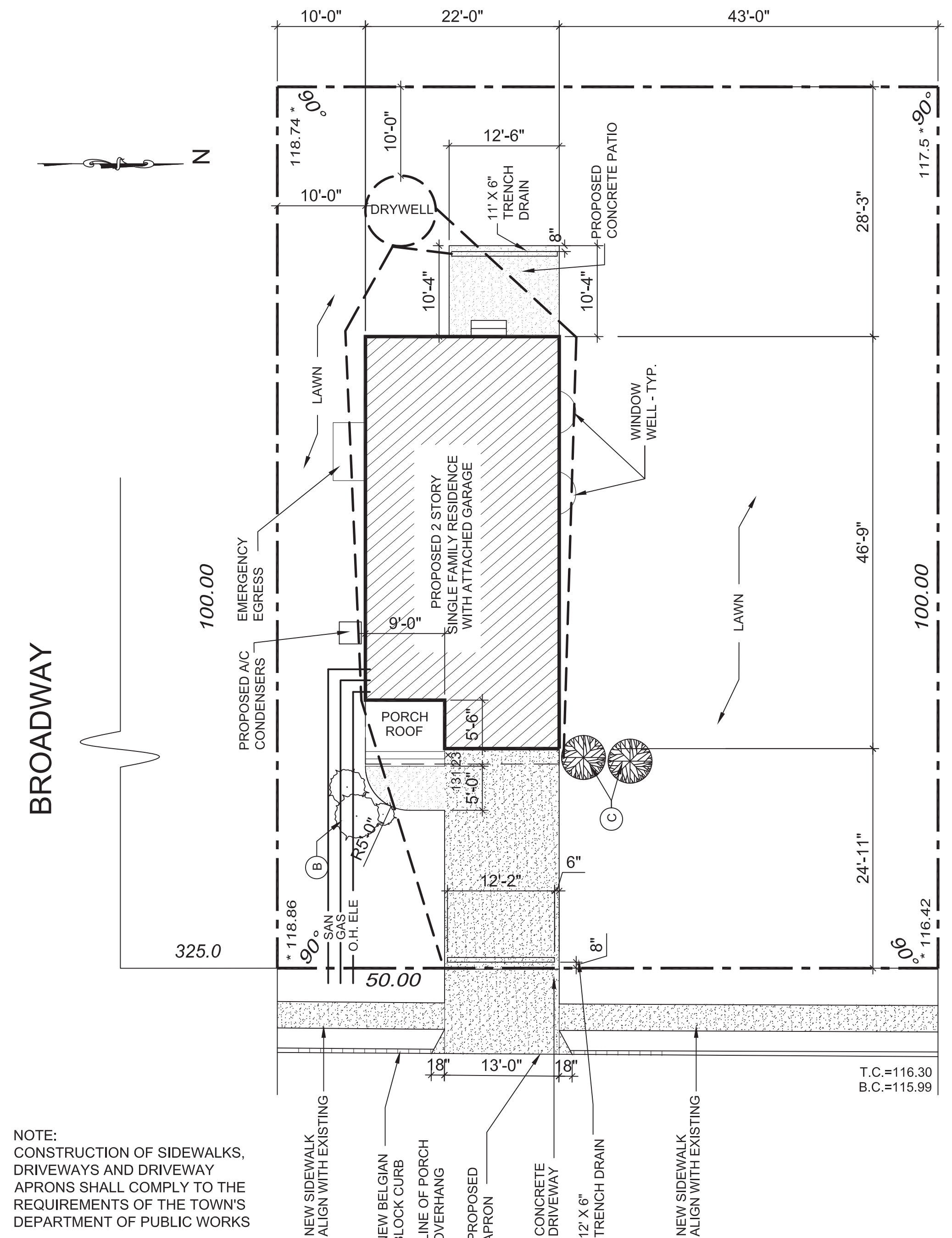
DECIDUOUS TREE PLANTING

LANDSCAPING NOTES

- ALL PLANT MATERIAL TO BE OF THE HIGHEST SPECIMEN QUALITY NURSERY STOCK
- ALL PLANTING MATERIAL TO BE INSPECTED PRIOR TO INSTALLATION. THE CONTRACTOR SHALL STAKE OUT ALL PLANTS PIT LOCATION FOR THE ARCHITECTS APPROVAL PRIOR TO EXCAVATION.
- REFER TO SITE PLAN FOR UTILITY INFORMATION COORDINATE ALL TREE LOCATIONS WITH SITE LIGHTING LOCATIONS AND WITH ELECTRICAL CONTRACTOR.
- ALL PLANT PITS TO BE BACKFILLED WITH MIXTURE OF 4 PARTS TOPSOIL TO ONE PART PEATMOSS. PHOSPHATE TO BE INCORPORATED INTO SOIL MIXTURE AT A RATE OF 1/2 POUND PER TREE AND 2 OUNCES PER SHRUB.
- ALL PLANTERS TO RECEIVE 2" TOPSOIL MIXTURE UNLESS SPECIFIED ON PLAN. ALL PLANTING BEDS TO BE MULCHED WITH MINIMUM 2" OF CLEAN FRESH MADE WOOD CHIPS, FREE OF STICKS, LEAVES AND OTHER FOREIGN MATTER.
- ALL TREES TO BE STAKED AND PLANTER AS PER DETAIL. PLANT MATERIAL LOCATED IN LAWN AREAS SHALL HAVE TOP SOIL AND SEEDING.
- ALL LAWN AREAS TO BE FERTILIZED PRIOR TO FINAL SEEDING WITH A 10-6-4 FERTILIZER AT THE RATE OF 4 POUNDS PER 1000 SQ.FT. AND SUPER PHOSPHATE.
- ALL LANDSCAPED AREAS INCLUDING PLANTING, AND SEEDING AREAS SHALL BE PROVIDED WITH AN AUTOMATIC SPRINKLER SYSTEM.
- PLANT SUBSTITUTION MAY NOT BE MADE WITH OUT THE ARCHITECTS APPROVAL.
- NO PLANTS SHALL BE PLANTED WHEN THE GROUND IS FROZEN OR EXCESSIVE WET CONDITIONS.
- USE 4 MIL BLACK POLYETHYLENE OVER THE SUBGRADE OF ALL AREAS TO BE SURFACED WITH WOOD CHIPS, GRAVEL OR BARK.
- POLYETHYLENE SHALL NOT BE PLACED WITHIN 3 FOOT RADIUS OF ANY TREE OR SHRUB. PUNCTURE DRAINAGE HOLES 12" OC. GROUND COVER BEDS SHALL BE 8" DEEP.
- PLANTS SHALL BE GUARANTEED FOR THE DURATION OF ONE GROWING SEASON.
- ALL AND ANY REPLACEMENTS SHALL BE OF THE SAME KIND AND SIZE AS SPECIFIED.

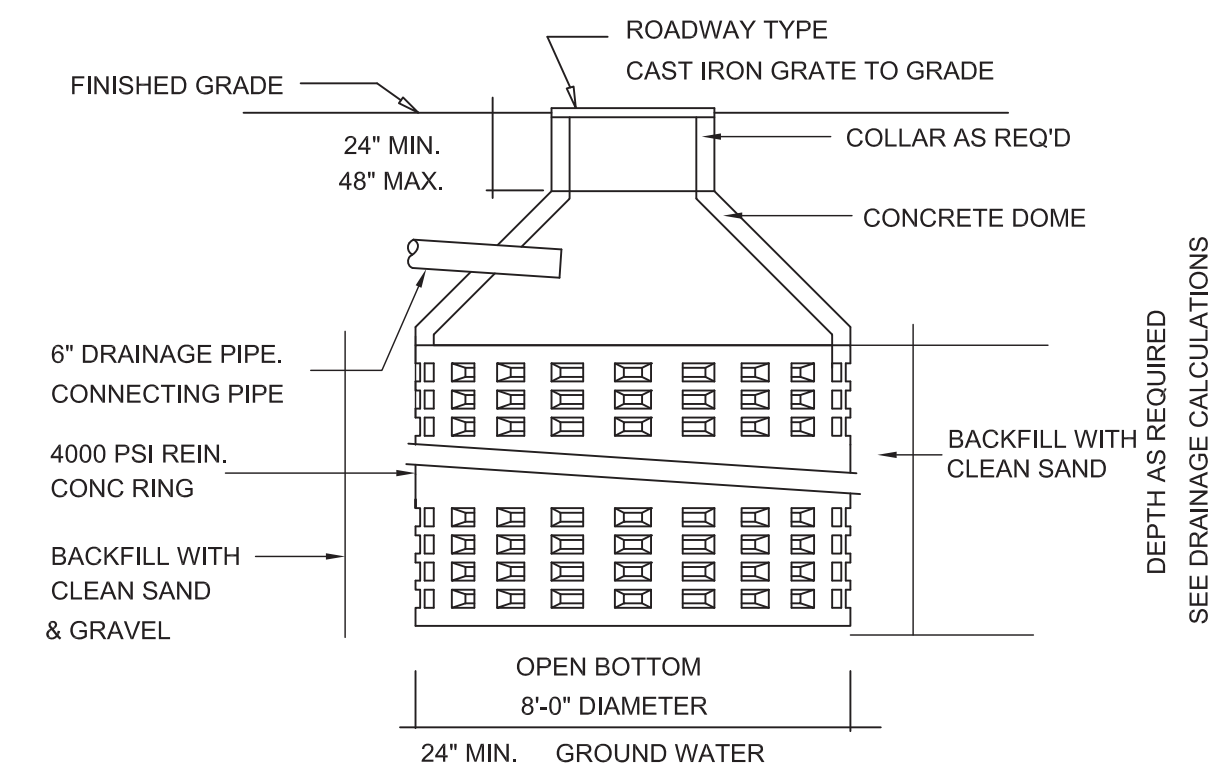
TOPSOIL AND SEEDING

- A. TOPSOIL:**
 THE TOPSOIL SHALL CONSIST OF A FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMY CHARACTER, WITHOUT A MIXTURE OF SUBSOIL, UNIFORM IN QUALITY AND SHALL BE FREE FROM REFUSE OF ANY NATURE, HARD CLODS, SODS, HARD PAN, PEBBLES LARGER THAN 1/4 INCH IN DIAMETER, COARSE SAND, NOXIOUS WEEDS, STICKS, BRUSH OR OTHER RUBBISH.
 ALL SUITABLE TOPSOIL AREAS SHALL BE STRIPPED AND STOCKPILED. THE TOPSOIL SHALL BE PLACED OVER ALL AREAS OF THE SITE NOT OCCUPIED BY THE BUILDING OR PAVING. IF THE QUANTITY OF TOPSOIL AVAILABLE FROM STRIPPING OPERATIONS WITHIN THE CONTRACT LIMITS IS INSUFFICIENT TO TAKE CARE OF THE NEW WORK, THE CONTRACTOR SHALL PROVIDE ADDITIONAL TOPSOIL FROM OUTSIDE SOURCES AS REQUIRED.
- B. SEED:**
 THE PERCENTAGE BY WEIGHT AND CLASS OF SEED OF THE GRASS SEED MIXTURE SHALL BE AS FOLLOWS:
 65%FESCUE15%MERION BLUEGRASS10%PERENNIAL RYE10%FANCY RED TOPEACH BAG OF SEED SHALL BE PROPERLY LABELED SHOWING THE MIXTURE OR KIND OF SEED CONTAINED THEREIN, THE PURITY AND GERMINATION OF EACH KIND, DATE OF TEST AND THE NET WEIGHT. SEED SHALL BE APPLIED AT THE RATE OF 70 LBS. PER 1,000 SQUARE YARDS UNLESS OTHERWISE NOTED ON THE PLANS OR DIRECTED BY THE ENGINEER.
- C. PLACEMENT OF TOPSOIL AND SEEDING:**
 AFTER ALL CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED (INCLUDING EXCAVATION NEEDED TO PROVIDE THE PROPER THICKNESS OF TOPSOIL), THE ENTIRE SITE SHALL BE RAKED OR OTHERWISE SATISFACTORILY PREPARED TO INSURE PROPER BOND BETWEEN SUBSOIL AND TOPSOIL. AFTER SPREADING THE TOPSOIL AND RAKING IT TO A UNIFORM THICKNESS OF SIX (6) INCHES, IT SHALL BE LIGHTLY COMPACTED BY TAMPING OR ROLLING WITH A ROLLER WEIGHING NOT LESS THAN FOUR AND ONE-HALF (4 1/2) AND NOT MORE THAN FIVE AND ONE-HALF (5 1/2) POUNDS PER LINEAR INCH OF TREAD. THE FINISHED SURFACE SHALL BE SMOOTH AND EVEN.
 AFTER COMPLETION OF THE PLACING OF TOPSOIL, THE SEED MIXTURE SHALL THEN BE SPREAD UNIFORMLY AND THE SURFACE AGAIN LIGHTLY RAKED AND THOROUGHLY COMPACTED BY MEANS OF A ROLLER WEIGHING NOT LESS THAN 1 1/2 AND NOT MORE THAN 2 1/2 POUNDS PER LINEAR INCH OF TREAD. THE FINISHED SURFACE SHALL BE SMOOTH AND EVEN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER PROTECTION AND MAINTENANCE OF THE AREA NEEDED UNTIL A UNIFORM STAND OF GRASS HAS BEEN ESTABLISHED. ANY DAMAGES OR AREAS FAILING TO GERMINATE SHALL BE RESEEDDED, AND REPAIRED AT THE CONTRACTOR'S EXPENSE.

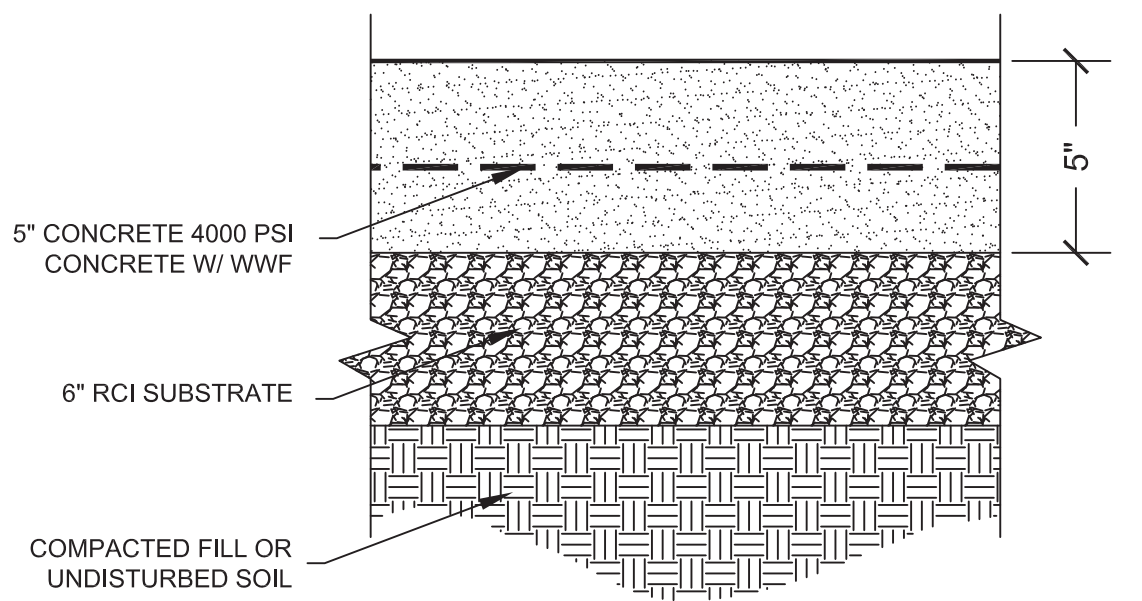


COVERT STREET

1 SITE PLAN
1" = 10'-0"

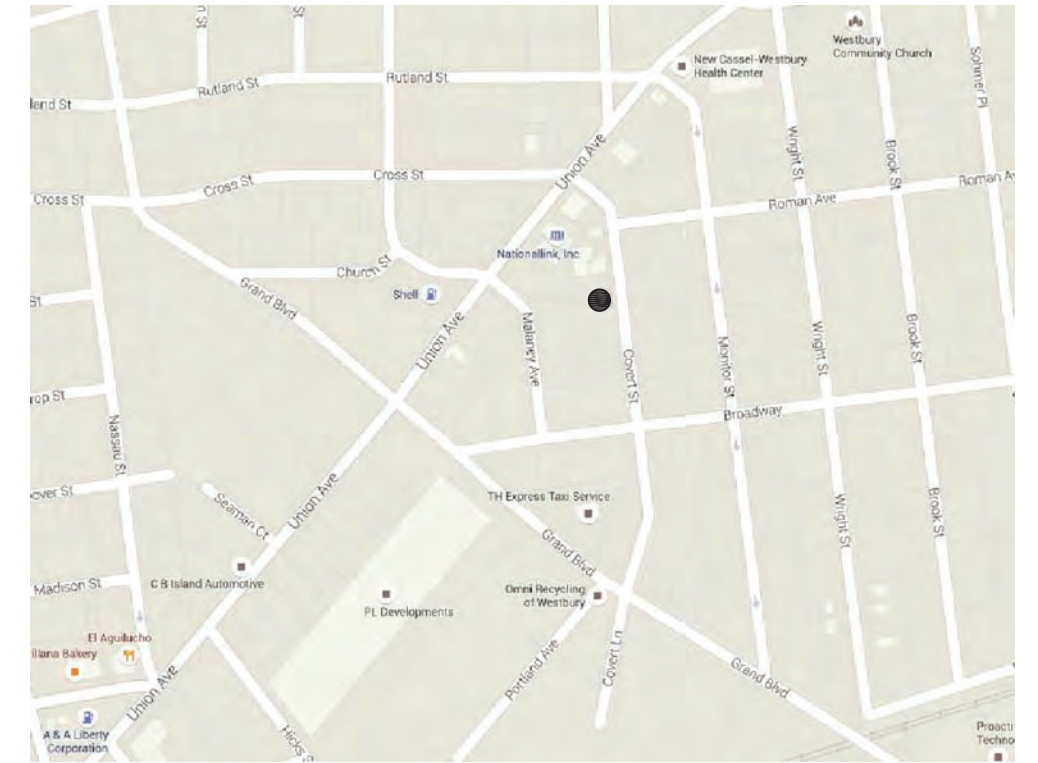


3 DRYWELL DETAILS



4 SECTION @ CONC. DRIVEWAY SLAB DETAILS

NOTE: CONSTRUCTION OF SIDEWALKS, DRIVEWAYS AND DRIVEWAY APRONS SHALL COMPLY TO THE REQUIREMENTS OF THE TOWN'S DEPARTMENT OF PUBLIC WORKS



2 LOCATION PLAN
NTS



COMMUNITY DEVELOPMENT AGENCY
51 ORCHARD STREET
ROSLYN HEIGHTS, N.Y. 11577-1326

Date: September 21, 2016

Subject: APPENDIX A Sites A, B and C URBAN AND SHERIDAN ARCHITECTURAL DESIGN-
DEVELOPMENT AND SPECIFICATION DOCUMENTS 2 of 2 092116

Re: ADDENDA 01

This addendum is made a part of the Appendix A Site A, B and C Architectural Design-Development and Specification Documents, please note the revisions described and submit proposals accordingly:

1. Install A.O. SMOTH PROMAX 50 gal. electric water heater model PNT-50 (10 year tank & 6 year parts warranty) and insulating blanket wrap.
2. A0.1 – In the bathroom / powder room, install tile on epoxy thin set in lieu of mud set, apply over HardieBacker ¼” and Schluter-Ditra membrane. Install as per manufacturer’s recommendation. Provide tile wall base and sanitary cove. Tile to be selected by Owner as per Contract Allowances.
3. Delete drywells, change site storm water containment to planting fields, swales, rain barrels and permeable pavements in connection with Town Code.
4. A0.1 - Provide and install aluminum flashing in lieu of copper.
5. A-3 – Install ducted central air heating and air-conditioning system shall be Goodman gmvc96, two stage, variable speed, ECM gas furnace 96% AFUE system sizing and distribution by permitting architect and HERS rater.
6. A-4 – Provide continuous railing on one side of stair.
7. A-4 - Provide and install wall sconces next to second floor bath medicine cabinet. All light fixtures shall be selected by owner as per contract allowance.
8. A-4 – Install lumber liquidators Schon by Mayflower, Hudson red oak 3/8" wood tung and grove staple down, or approved equal floor in all living areas except those specified to receive tile.
9. A-5 - Window trim shall be Exterior Portfolio as manufactured by Crane Architectural Essentials Accessories or AAE Concealed j-mold 3-1/2” foam core vinyl window-lineal on jambs and head, and vinyl foam core window sill-lineal with end caps on sill. Front Entry Door trim shall be Exterior Portfolio as manufactured by Crane Architectural Essentials Accessories 3-1/2” ”foam core window-lineals and window-crown-lineal, or AAE with or without foam core.

10. A-5 - Siding shall be 5" vinyl perfection shake on gables, double 5" vinyl siding remainder of house manufactured by Exterior Portfolio by Crane Market Square or AAE. Corner Posts: 3-1/4" hollow core-vinyl, match color of siding. Siding Blocks: Siding company manufactured vinyl siding blocks for light fixtures, electrical panel, electric receptacles, hose bibs, vents and pipes Color to be selected by owner.
11. A-5 - Install aluminum fascia in lieu of Azek, throughout(except frieze boards shall remain Azek)
12. A-5 - Soffits shall be triple 4" concealed vents by Exterior Portfolio by Crane <http://www.exteriorportfolio.com/> or AAE
13. A-5 - All exterior wall construction shall include 3/8" fanfold underlayment board over Tyvek behind the vinyl siding.
14. A-8 - Install Owner selected kitchen appliances, cabinets, and counter tops per contract allowances.
15. A-8 - All interior doors other than interior garage door shall be molded, 2-panel (no arch), stranded core, single board, smooth texture, paint-ready-primed interior doors by Jeld-Wen. <http://www.jeld-wen.com/> or AAE. Use same style Bi-fold doors. Main entry front door shall be 3-light external and internal grill simulated dividedlights over 2-vertical panels, fully-insulated, smooth-texture, paint-ready-primed, steel entry door with 2-light over one panel mullied sidelight by Jeld-Wen or AAE. Sliding door shall be same manufacture as windows with simulated divided lights.
16. Provide and install owner selected plumbing fixtures, vanity, medicine cab, and all the bathroom accessories including tumbler sets, towel rod, robe hook, shower curtain rod, soap dishes, as per contract allowances.
17. Bathroom exhaust fans shall have 0.3 Sones or less, 150 CFM exhaust vented to exterior controlled by programmable timer to function once an hour as specified by HERS consultant.
18. Paint PVC roof vent pipes gray or black.
19. Provide complete manufacturer 40-year warranted shingle roofing system, installed by certified manufacturer installer, with all accessories, including edge flashing, starter strip, ice and water shield, ridge vent as recommended by manufacturer.
20. Provide and install owner selected door bell, hard wired to the house electrical Service, mount exterior button mounted on door trim not siding.
21. Provide and install an internet/cable outlet in the living room, master bedroom and kitchen, and a phone outlet in the kitchen.
22. Change cellar egress well to molded vinyl insert.
23. Add garage door opener.
24. Add two (2) motion activated and switch controlled security lights, one at rear yard, one at side yard.
25. Change plans to address new energy code and building code.

26. Delete foundation stucco.
27. Reduce size of footing to 12" x 16".
27. Locate washer machine overflow pan with adequate room for front loader washer machine door can fully open.
28. Locate refrigerator approximately 4'-6" off wall so that door can fully open.
29. Continue Versatex porch header band in equal height of header on all four sides of porch ceiling.
30. Install Versatex eave board at soffits from soffit to top of window jamb vinyl trim at second floor, hide all j molds.
31. Hide siding j-mold.
32. Change front entry door trim to Versatex in not less than equal width of window trim.
33. Add two recessed hall lights in 2nd floor hall and one in 1st floor hall.
34. Full bath tub and shower wall shall be three, four, or two piece acrylic vinyl or fiberglass white tub and wall set selected by owner allowances.
35. Change juniper plants to 5'-6' Leyland Cypress.
36. Change cellar windows to fully insulated fully welded hopper style and casement egress window.
37. Install owner allowance selected kitchen cabinets cinnamon shaker square door & drawer style, maple veneer all plywood construction, 36" base, 24-42"hx12" deep upper cabinets w/ top crown, painted light gray color with 1-1/4" thick solid granite or hard surface Giallo Fiorito countertop with undermount stainless steel single bowl by WSD Development, Inc., 40 Newton Blvd., Freeport, NY 11520, (516) 379-0282 and Owner Allowance selected interlocking 12"x12" x 6mm+/- 2mm glass and porcelain mesh mounted mosaic tile on primed gypsum board wall(s) at counters with commercially matched metal bullnose edges on exposed edges of tile not abutting counter or cabinet.
38. Main Stair; Newel Post: Carolina Stair Victorian series, plain panel, (product # 4091-p) red oak, match flooring finish. Balusters: Carolina stair contemporary series, square 1 -3/4"x1-3/4" x36" red oak finish to match flooring. Rail profile: Carolina Stair Classic solid rail 2-5/8" wide (product # 6210-c). Riser: painted pine. Hardware: exposed hardware oil rubbed bronze finish.
39. Cellar Stair polyurethane finished pine tread and riser and builder rail.

END